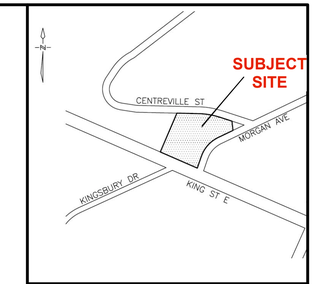
CONDOMINIUM DEVELOPMENT

2934 KING STREET EAST, KITCHENER ONTARIO



Key Plan

Issue	Date	Description	By
01	07 APR 2022	SECOND CONSULTATION	K.L.
02	24 JUL 2022	SECOND CONSULTATION REV	K.L.
03	15 APR 2023	ZBA	K.L.

Rev	Date	Description	By

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ONTARIO ASSOCIATION OF ARCHITECTS
JOHN WILLIAM McALPINE
LICENCE 4397

Professional Certification

ZONING BYLAW AMENDMENT
Issued for

15 APRIL 2023	1 : 200	
Issue date	Scale	
0699	K.L.	J.M.
Project no.	Drawn by	Checked by

MIXED-USE DEVELOPMENT

2934 KING STREET EAST,
KITCHENER ON

OWNER: 2591221 ONTARIO INC.

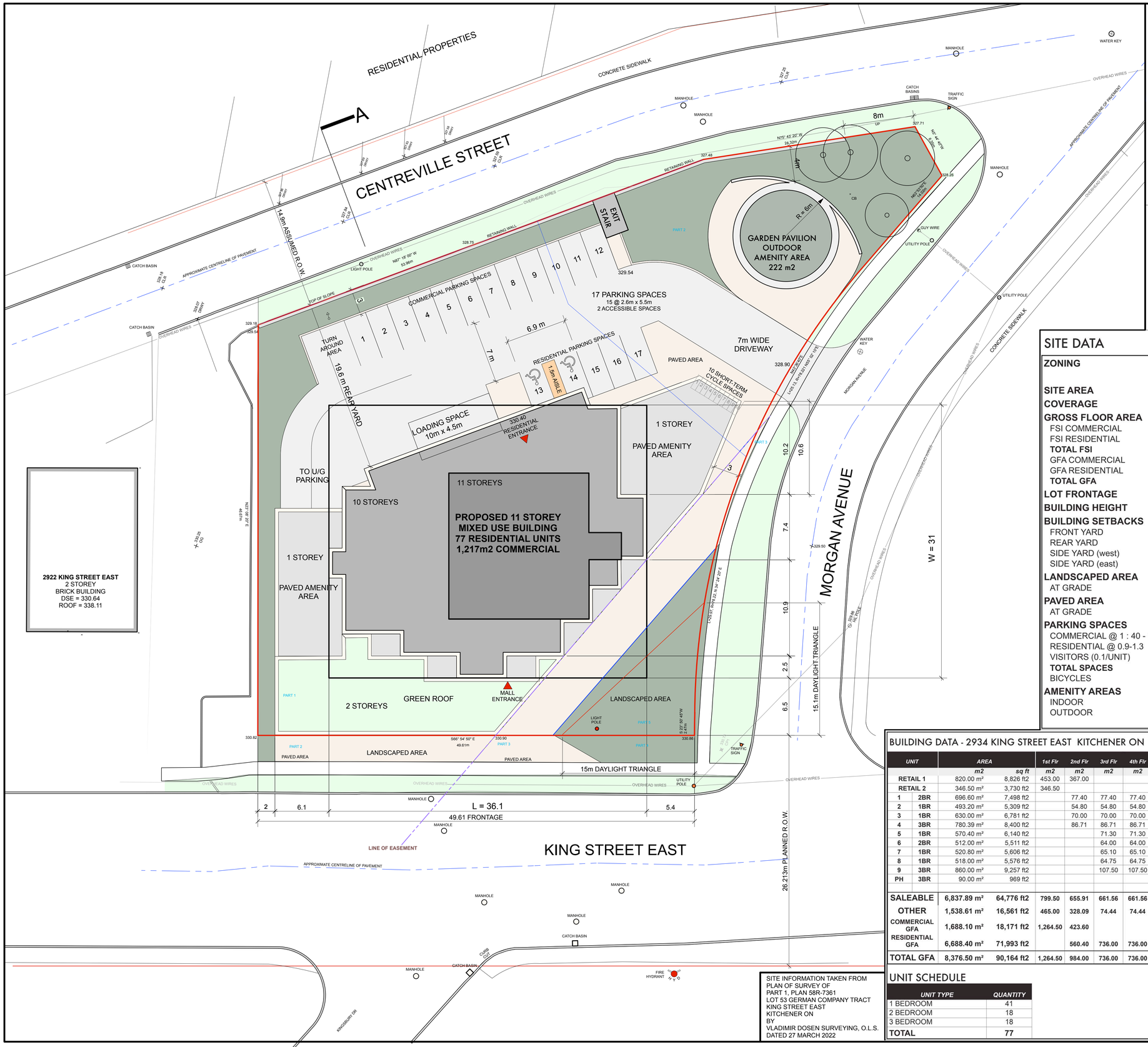
Project

COVER SHEET

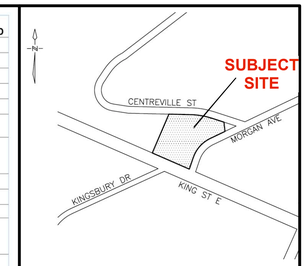
Drawing Title

A000

Sheet no.



	MIX-3 REQUIRED	PROVIDED
MINIMUM LOT WIDTH	15m	49.61m
MINIMUM FRONT YARD SETBACK	1.5m	0m
MINIMUM EXTERIOR SIDE YARD SETBACK	1.5m	3m
MINIMUM REAR YARD SETBACK	7.5m	22.9m
MINIMUM INTERIOR SIDE YARD SETBACK	4m	3m
MINIMUM YARD SETBACK ABUTTING A RESIDENTIAL ZONE	7.5m	22.9m
MINIMUM GROUND FLOOR BUILDING HEIGHT FOR ANY BUILDING WITH STREET LINE FACADE	4.5m	4.5m
MINIMUM BUILDING HEIGHT	11m	38.25m
MAXIMUM BUILDING HEIGHT	32m	38.25m
MAXIMUM NUMBER OF STOREYS	10	11
MINIMUM NUMBER OF STOREYS IN THE BASE OF A MID-RISE BUILDING OR TALL BUILDING	3 storeys	2 storeys
MAXIMUM NUMBER OF STOREYS IN THE BASE OF A MID-RISE BUILDING OR TALL BUILDING	6 storeys	2 storeys
MINIMUM STREET LINE STEPBACK FOR MID-RISE BUILDINGS AND TALL BUILDINGS	3m	6.5m
MINIMUM FLOOR SPACE RATIO	0.6	2.36
MAXIMUM FLOOR SPACE RATIO	2	2.36
MAXIMUM TOTAL RETAIL GROSS FLOOR AREA WITHIN A MULTI-UNIT BUILDING, MULTI-UNIT DEVELOPMENT, MIXED-USE BUILDING, OR MIXED-USE DEVELOPMENT.	10,000.00 m²	1,217.00 m²
MINIMUM PERCENT OF NON-RESIDENTIAL GROSS FLOOR AREA	20%	15%
MINIMUM PERCENT OF RESIDENTIAL GROSS FLOOR AREA	20%	85.0%
MINIMUM GROUND FLOOR STREET LINE FAÇADE WIDTH AS A PERCENT OF THE WIDTH OF THE ABUTTING STREET LINE.	50%	48.0%
MINIMUM PERCENT STREET LINE FAÇADE OPENINGS	50%	64.0%
MINIMUM LANDSCAPED AREA	15%	41.5%



SITE DATA

ZONING	EXISTING	PROPOSED
SITE AREA	3,428.50 m²	3,428.50 m²
COVERAGE	829.30 m² = 24.2%	737.60 m² = 21.5%
GROSS FLOOR AREA		
FSI COMMERCIAL	0.00	0.24
FSI RESIDENTIAL	0.00	2.28
TOTAL FSI	**0.00**	**2.52**
GFA COMMERCIAL	0.00 m²	839.50 m² = 9.7%
GFA RESIDENTIAL	0.00 m²	7,814.10 m² = 90.3%
TOTAL GFA	**0.00 m²**	**8,653.60 m²**
LOT FRONTAGE	49.63 m	49.63 m
BUILDING HEIGHT		35.5 m (11 storeys)
BUILDING SETBACKS		
FRONT YARD		0 m
REAR YARD		19.6 m
SIDE YARD (west)		2 m
SIDE YARD (east)		3 m
LANDSCAPED AREA		
AT GRADE		1,827.90 m² = 53.3%
PAVED AREA		
AT GRADE		863.00 m² = 25.2%
PARKING SPACES	**REQUIRED**	**PROPOSED**
COMMERCIAL @ 1 : 40 - 1 : 27	26 - 38	27
RESIDENTIAL @ 0.9-1.3	70-100	85
VISITORS (0.1/UNIT)	8	8
TOTAL SPACES	**8**	**120**
BICYCLES	49	49
AMENITY AREAS	**REQUIRED**	**PROPOSED**
INDOOR	?	371.40 m²
OUTDOOR	?	625.00 m²

BUILDING DATA - 2934 KING STREET EAST KITCHENER ON

UNIT		AREA m2	AREA sq ft	1st Flr m2	2nd Flr m2	3rd Flr m2	4th Flr m2	5th Flr m2	6th Flr m2	7th Flr m2	8th Flr m2	9th Flr m2	10th Flr m2	11th Flr m2	Units
RETAIL 1		820.00 m²	8,826 ft2	453.00	367.00										
RETAIL 2		346.50 m²	3,730 ft2	346.50											
1	2BR	696.60 m²	7,498 ft2		77.40	77.40	77.40	77.40	77.40	77.40	77.40	77.40	77.40		9
2	1BR	493.20 m²	5,309 ft2		54.80	54.80	54.80	54.80	54.80	54.80	54.80	54.80	54.80		9
3	1BR	630.00 m²	6,781 ft2		70.00	70.00	70.00	70.00	70.00	70.00	70.00	70.00	70.00		9
4	3BR	780.39 m²	8,400 ft2		86.71	86.71	86.71	86.71	86.71	86.71	86.71	86.71	86.71		9
5	1BR	570.40 m²	6,140 ft2			71.30	71.30	71.30	71.30	71.30	71.30	71.30	71.30		8
6	2BR	512.00 m²	5,511 ft2			64.00	64.00	64.00	64.00	64.00	64.00	64.00	64.00		8
7	1BR	520.80 m²	5,606 ft2			65.10	65.10	65.10	65.10	65.10	65.10	65.10	65.10		8
8	1BR	518.00 m²	5,576 ft2			64.75	64.75	64.75	64.75	64.75	64.75	64.75	64.75		8
9	3BR	860.00 m²	9,257 ft2			107.50	107.50	107.50	107.50	107.50	107.50	107.50	107.50		8
PH	3BR	90.00 m²	969 ft2											90.00	1
SALEABLE		**6,837.89 m²**	**64,776 ft2**	**799.50**	**655.91**	**661.56**	**661.56**	**661.56**	**661.56**	**661.56**	**661.56**	**661.56**	**661.56**	**90.00**	**77**
OTHER		**1,538.61 m²**	**16,561 ft2**	**465.00**	**328.09**	**74.44**	**74.44**	**74.44**	**74.44**	**74.44**	**74.44**	**74.44**	**74.44**	**150.00**	
COMMERCIAL GFA		**1,688.10 m²**	**18,171 ft2**	**1,264.50**	**423.60**										
RESIDENTIAL GFA		**6,688.40 m²**	**71,993 ft2**		**560.40**	**736.00**	**736.00**	**736.00**	**736.00**	**736.00**	**736.00**	**736.00**	**736.00**	**240.00**	
TOTAL GFA		**8,376.50 m²**	**90,164 ft2**	**1,264.50**	**984.00**	**736.00**	**736.00**	**736.00**	**736.00**	**736.00**	**736.00**	**736.00**	**736.00**	**240.00**	

UNIT SCHEDULE

UNIT TYPE	QUANTITY
1 BEDROOM	41
2 BEDROOM	18
3 BEDROOM	18
TOTAL	**77**

SITE INFORMATION TAKEN FROM
PLAN OF SURVEY OF
PART 1, PLAN 58R-7361
LOT 53 GERMAN COMPANY TRACT
KING STREET EAST
KITCHENER ON
BY
VLADIMIR DOSEN SURVEYING, O.L.S.
DATED 27 MARCH 2022

Key Plan

Issue	Date	Description	By
01	07 APR 2022	SECOND CONSULTATION	K.L.
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03	15 APR 2023	ZBA	K.L.

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LICENSE 4397

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Issued for

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MIXED-USE DEVELOPMENT
2934 KING STREET EAST,
KITCHENER ON

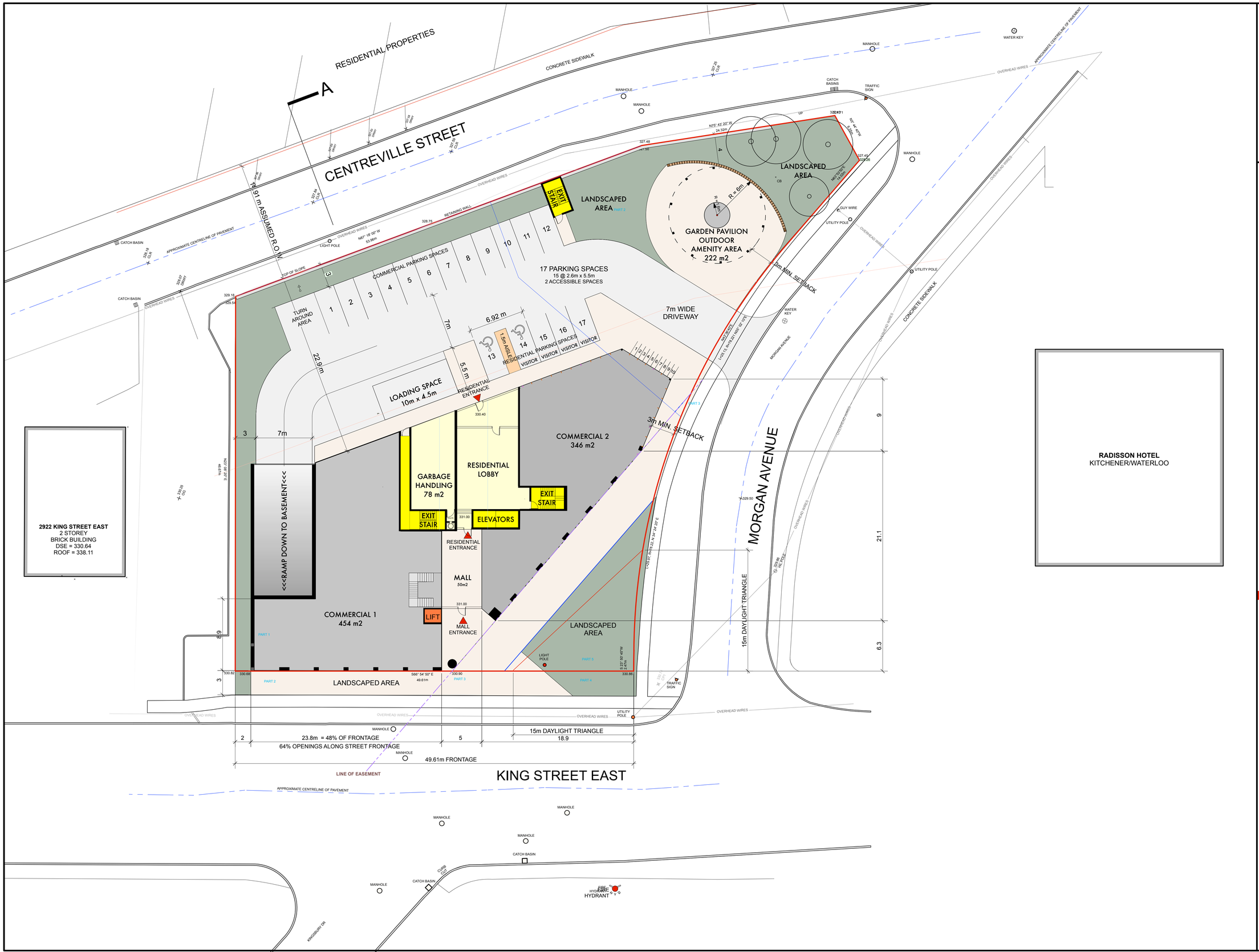
OWNER: 2591221 ONTARIO INC.
Project

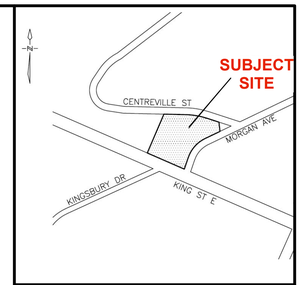
ARCHITECTURAL SITE PLAN BUILDING DATA

Drawing Title

A0

Sheet no.





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RADISSON HOTEL
KITCHENER/WATERLOO

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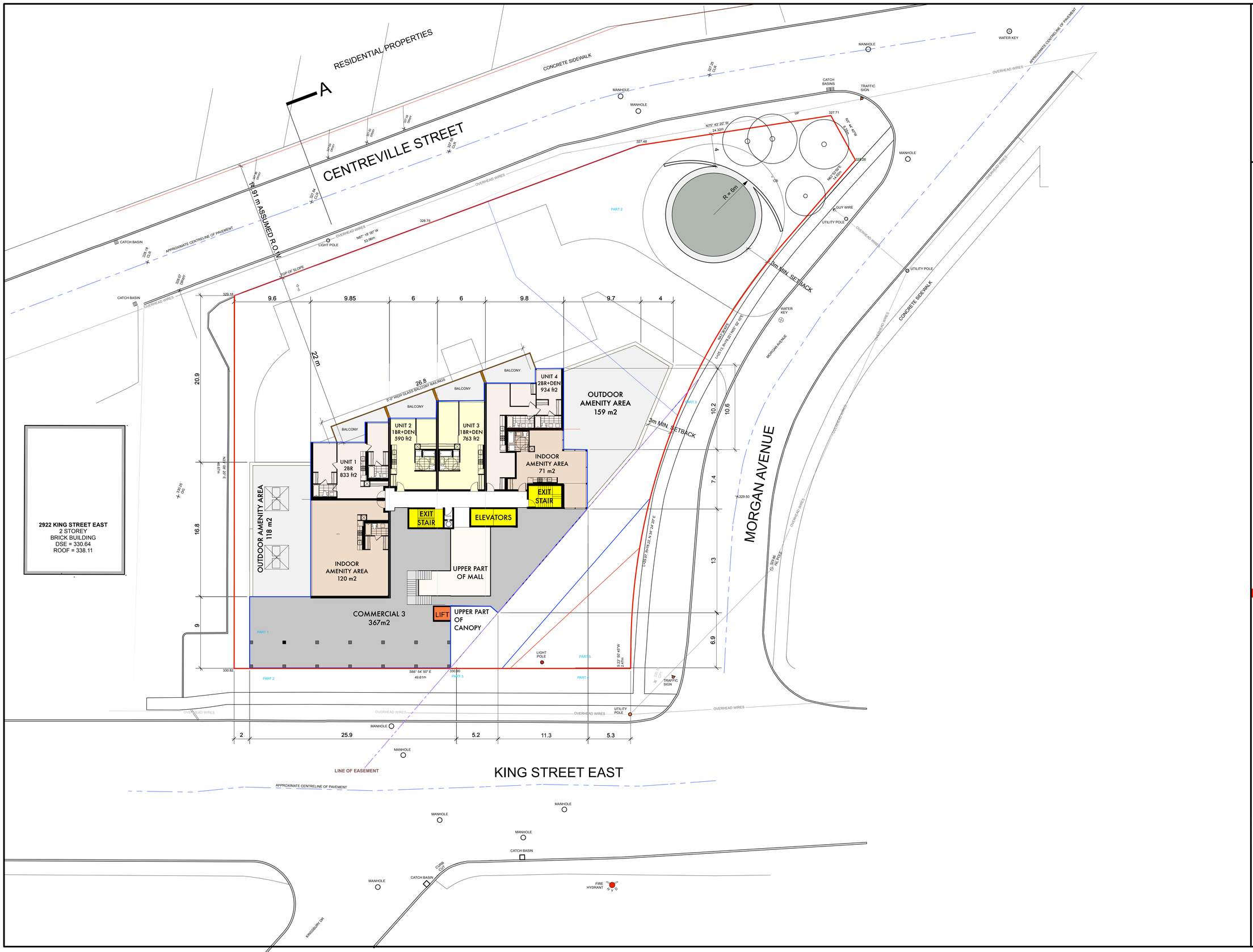
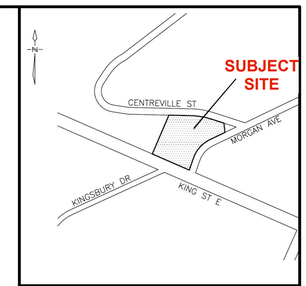
1ST FLOOR PLAN

Drawing Title

A1

Sheet no.





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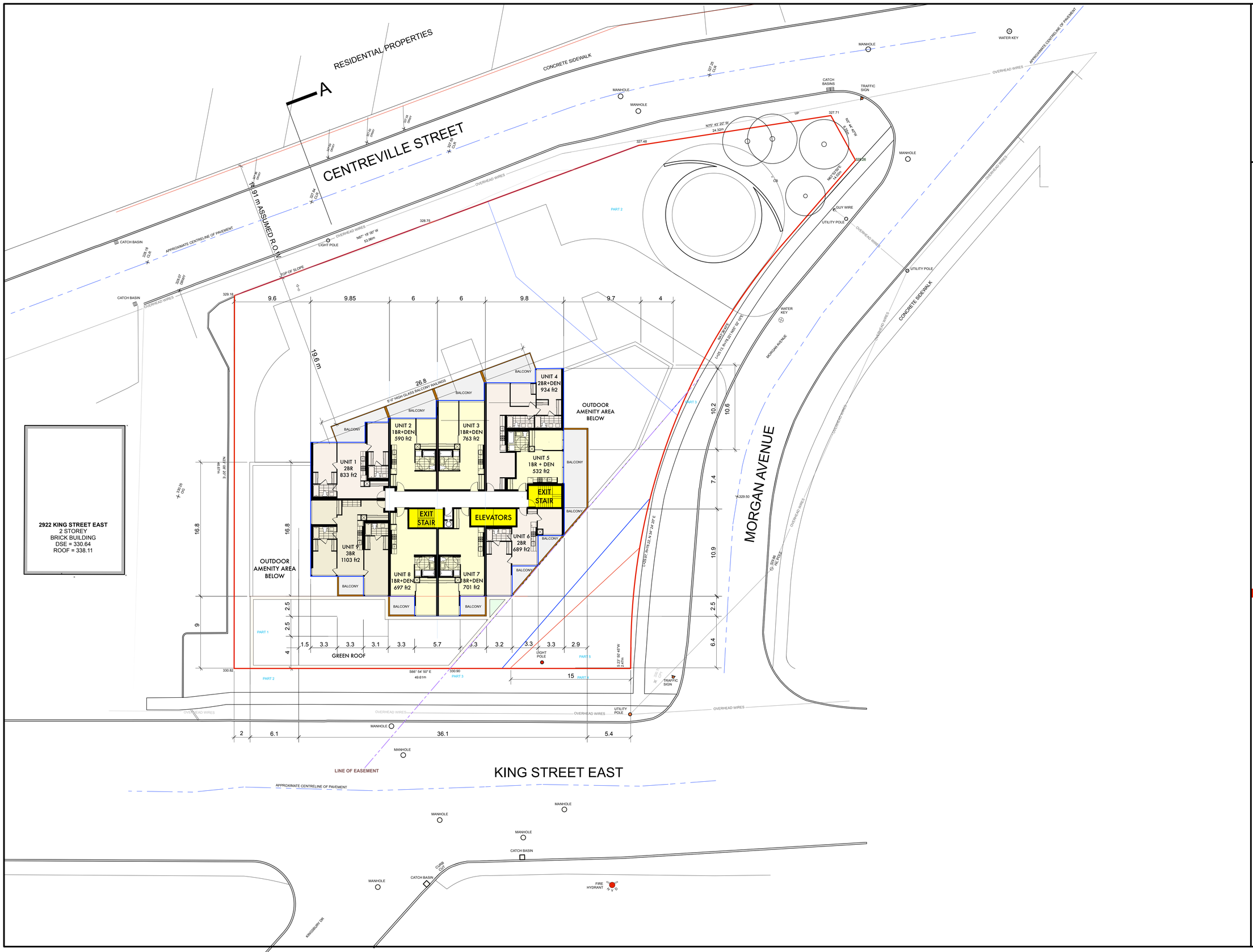
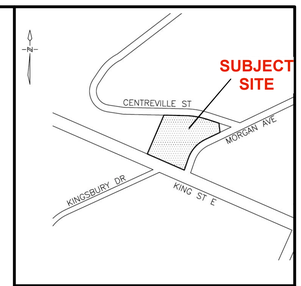
Drawing Title

2ND FLOOR PLAN

Sheet no.

A2





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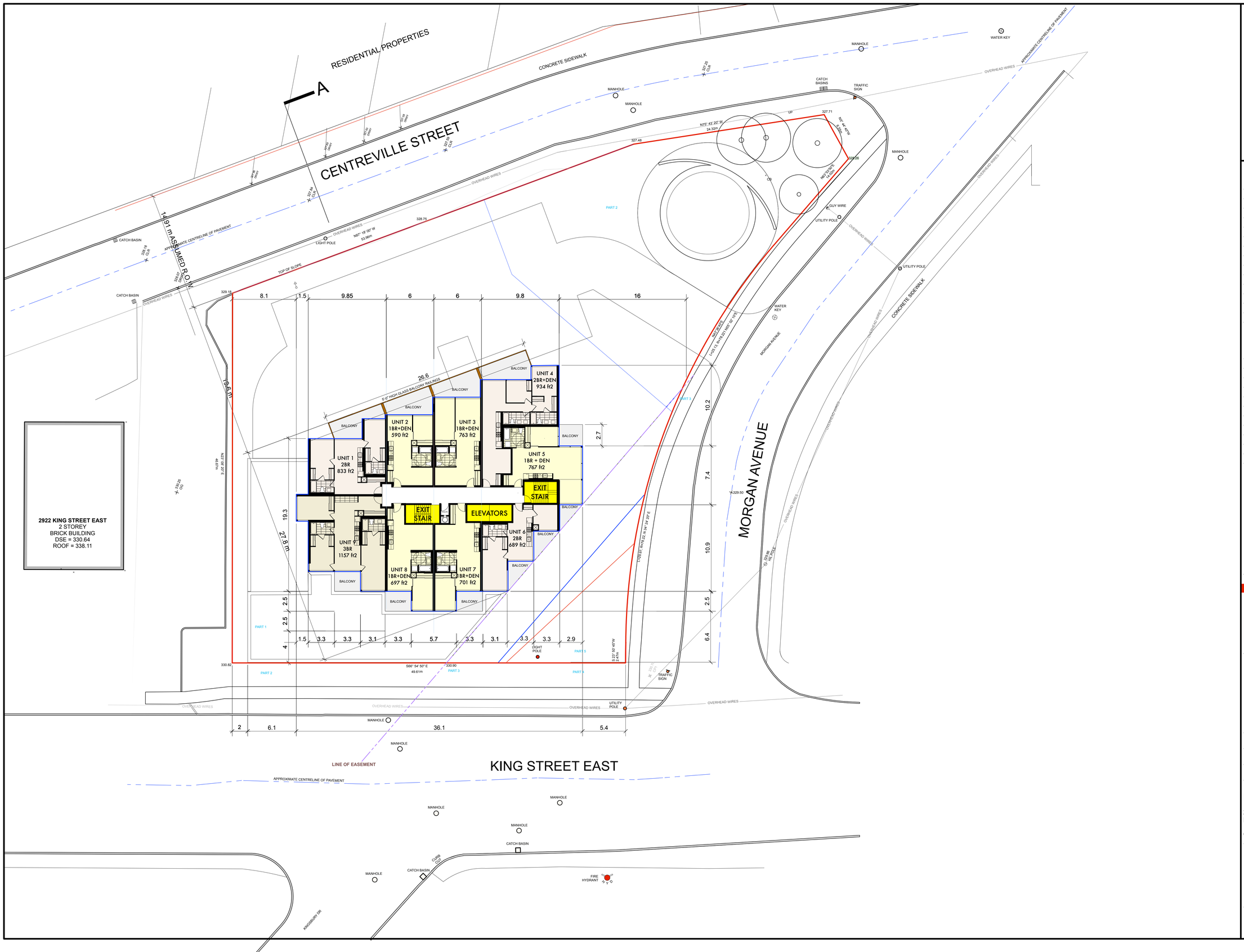
Project

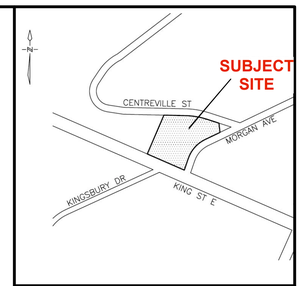
3RD FLOOR PLAN
7TH FLOOR PLAN

Drawing Title

A3

Sheet no.





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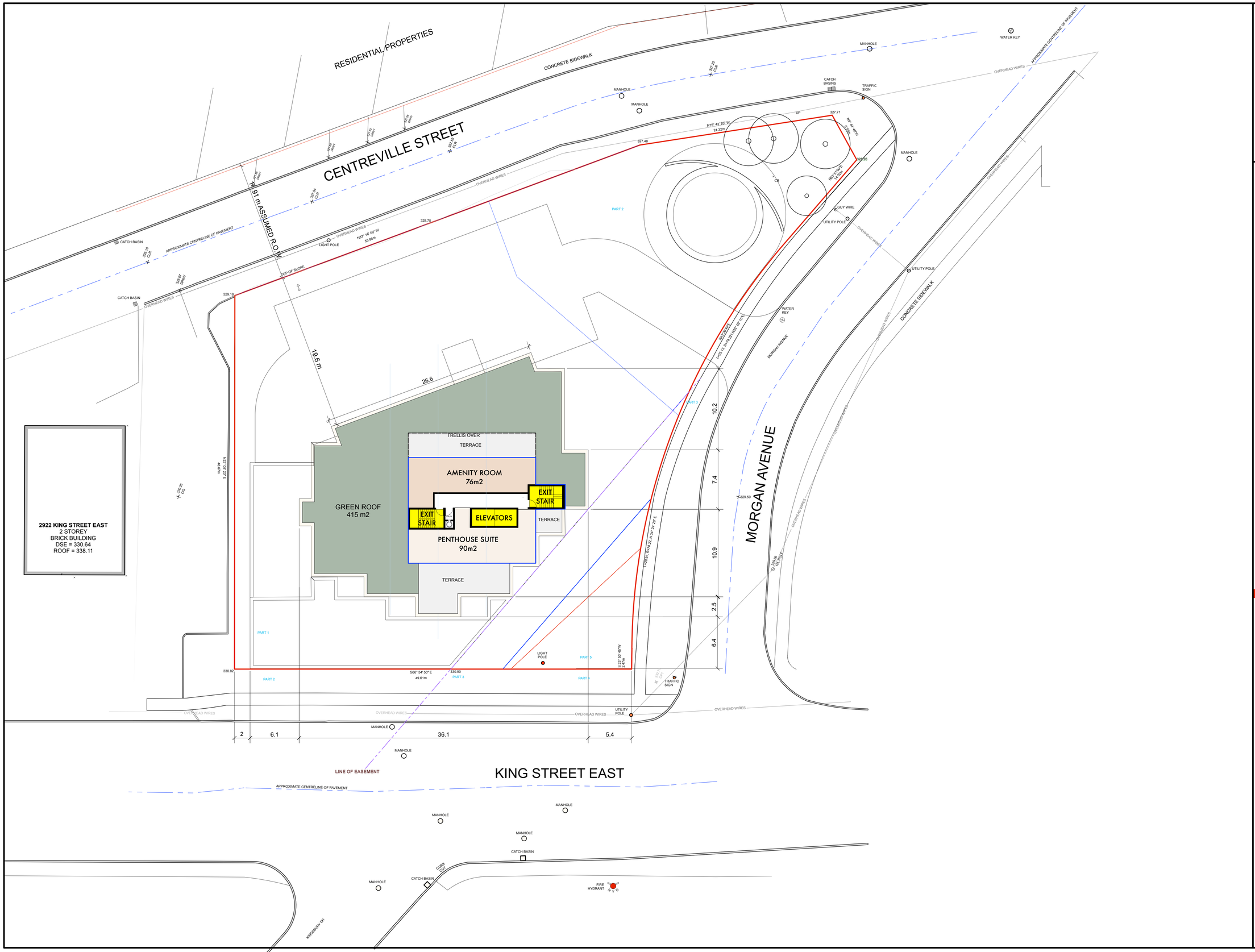
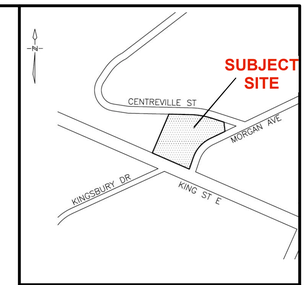
Drawing Title

4TH-6TH FLOOR PLANS
8TH-10TH FLOOR PLANS

Sheet no.

A4





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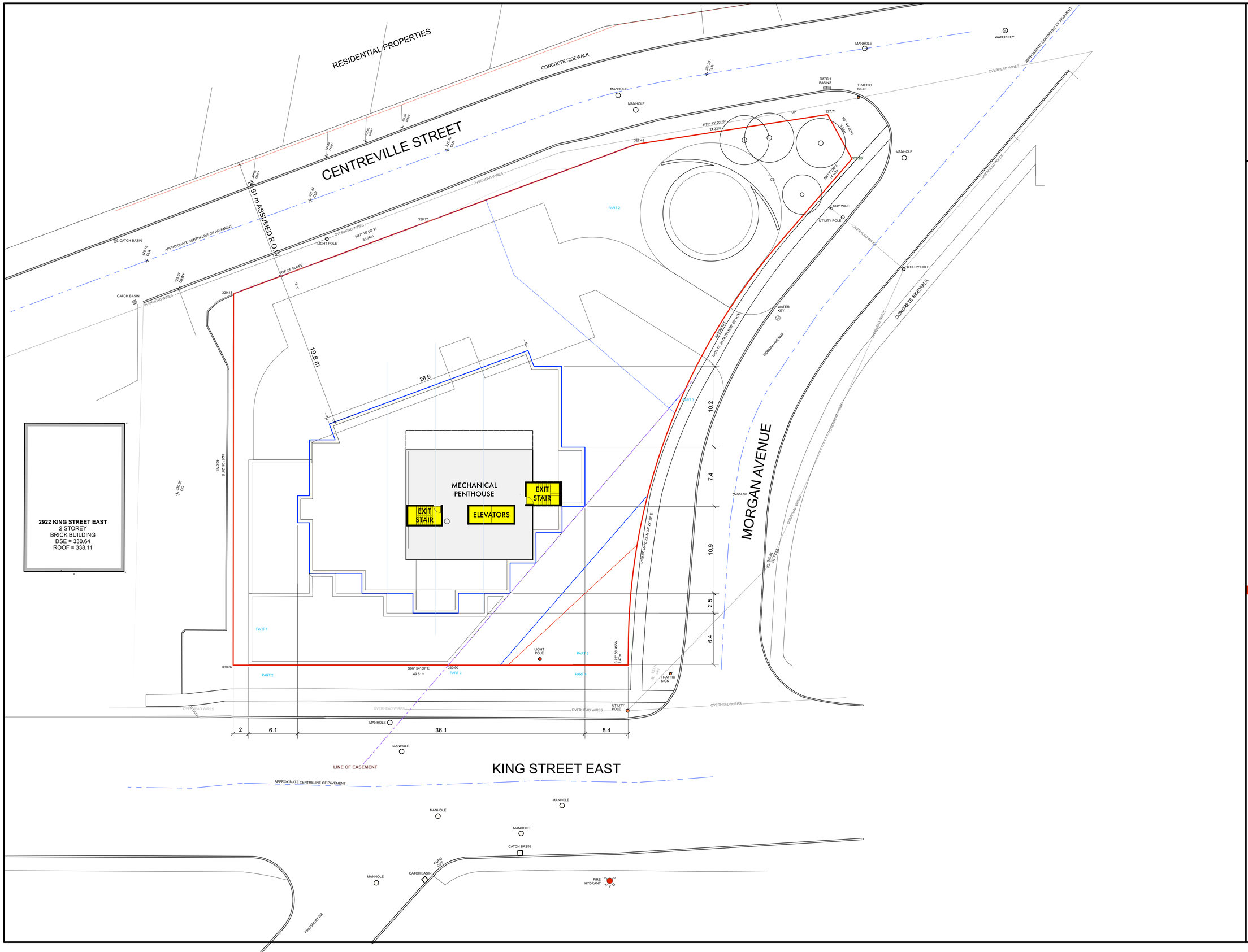
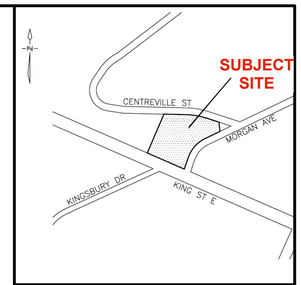
Drawing Title

11TH FLOOR PLAN

Sheet no.

A5





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03	15 APR 2023	ZBA	K.L.

Rev	Date	Description	By

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LICENCE
4597

Professional Certification

ZONING BYLAW AMENDMENT
Issued for

15 APRIL 2023	1 : 200	
Issue date	Scale	
0699	K.L.	J.M.
Project no.	Drawn by	Checked by

MIXED-USE DEVELOPMENT

2934 KING STREET EAST,
KITCHENER ON

OWNER: 2591221 ONTARIO INC.

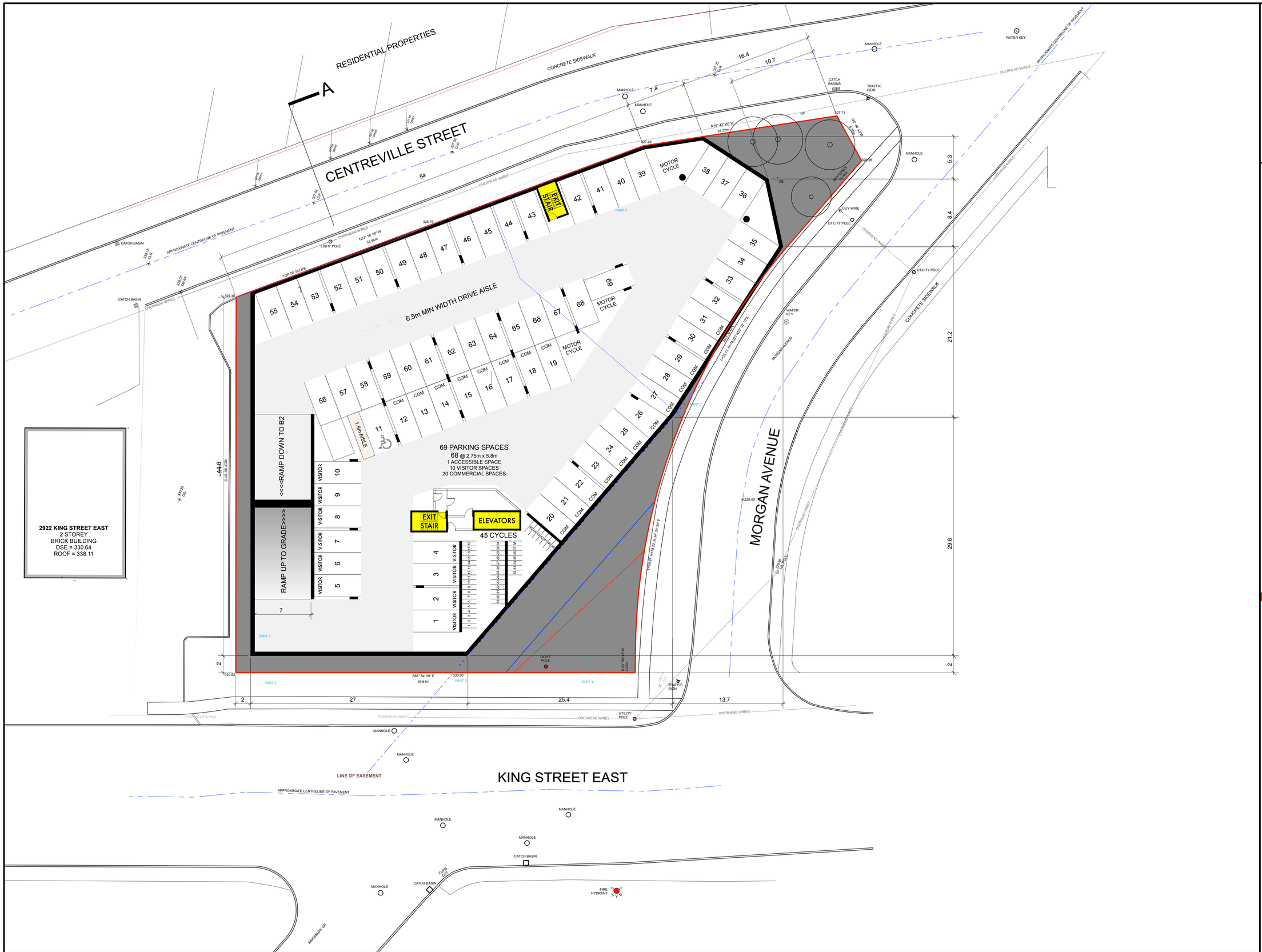
Project

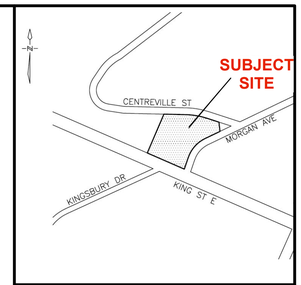
MECH. LEVEL PLAN

Drawing Title

A6

Sheet no.





Key Plan

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2934 KING STREET EAST,
KITCHENER ON

OWNER: 2591221 ONTARIO INC.

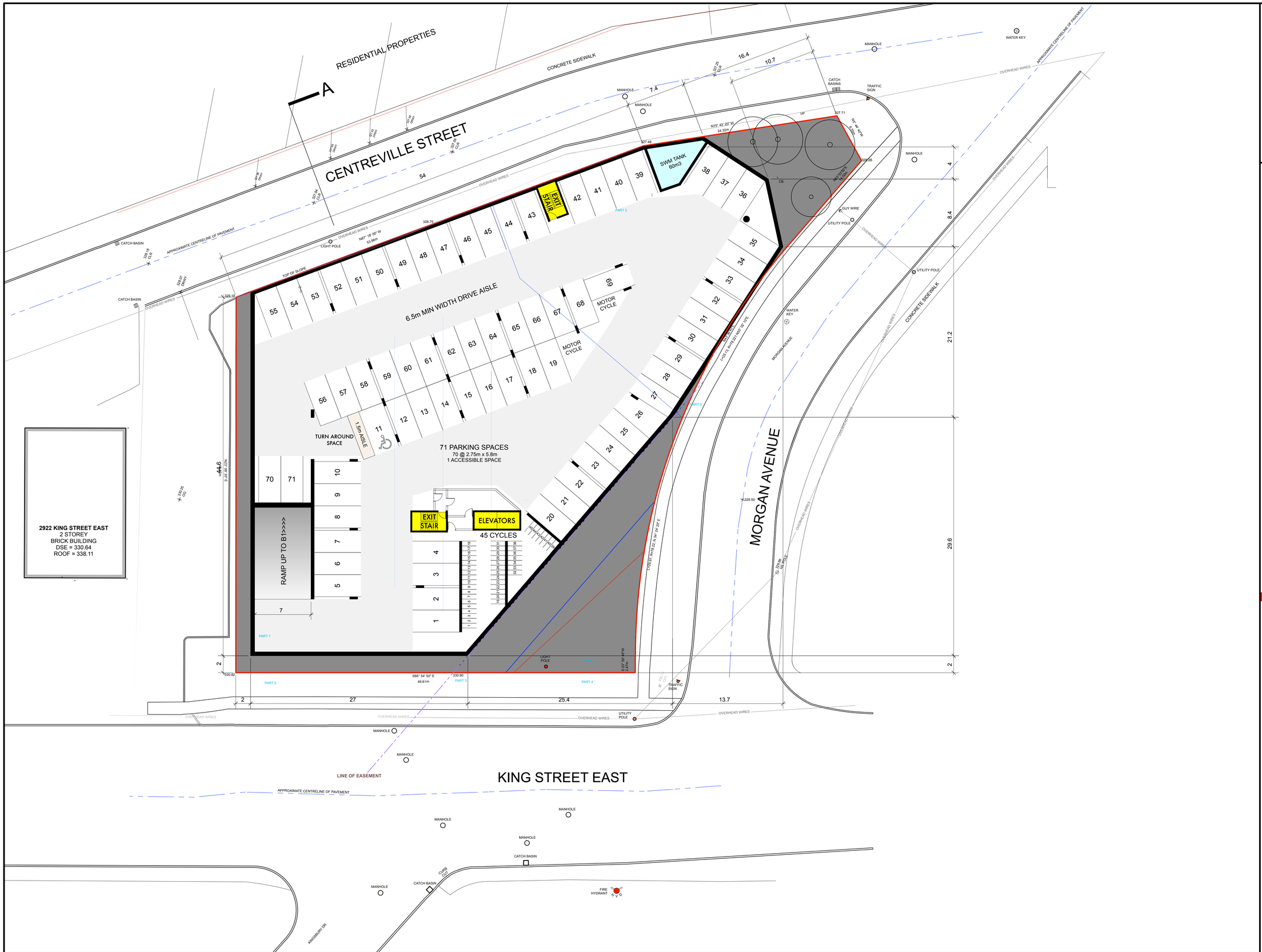
Project

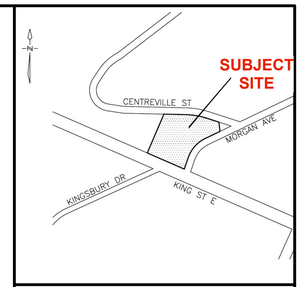
1ST BASEMENT PLAN

Drawing Title

A7

Sheet no.





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MIXED-USE DEVELOPMENT

2934 KING STREET EAST,
KITCHENER ON

OWNER: 2591221 ONTARIO INC.

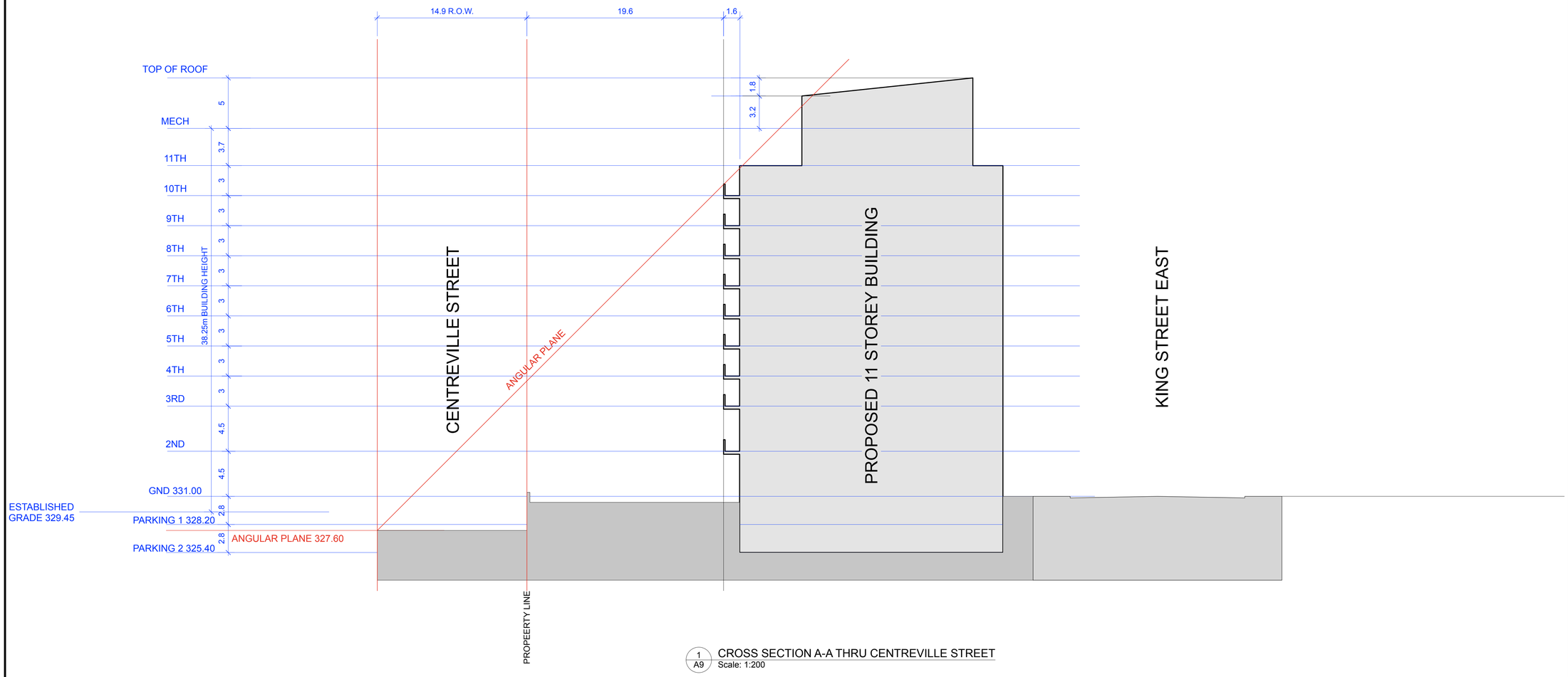
Project

2ND BASEMENT PLAN

Drawing Title

A8

Sheet no.



1 / A9 CROSS SECTION A-A THRU CENTREVILLE STREET
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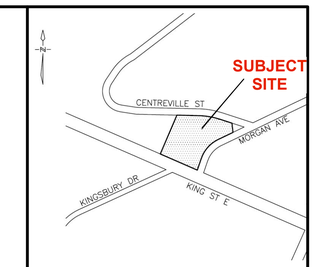

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LICENSE
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MIXED-USE DEVELOPMENT

2934 KING STREET EAST,
KITCHENER ON

OWNER: 2591221 ONTARIO INC.

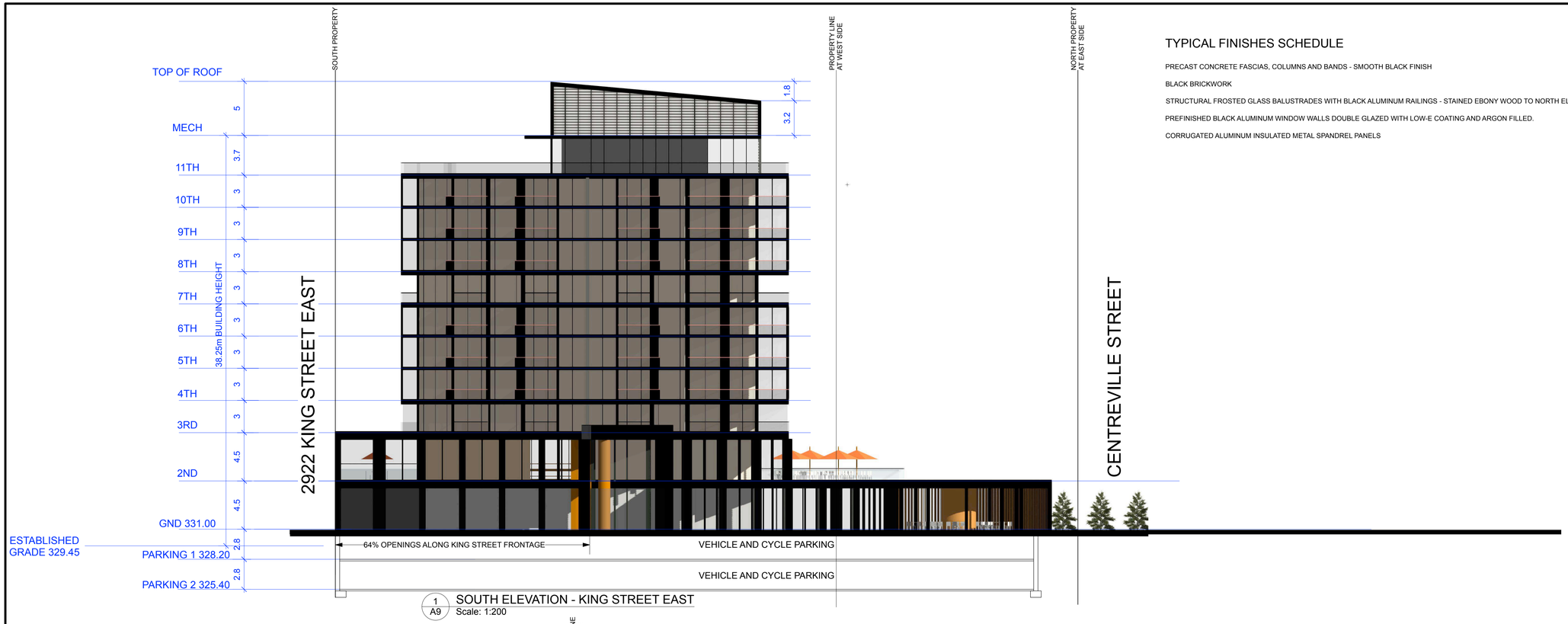
Project

SITE SECTION

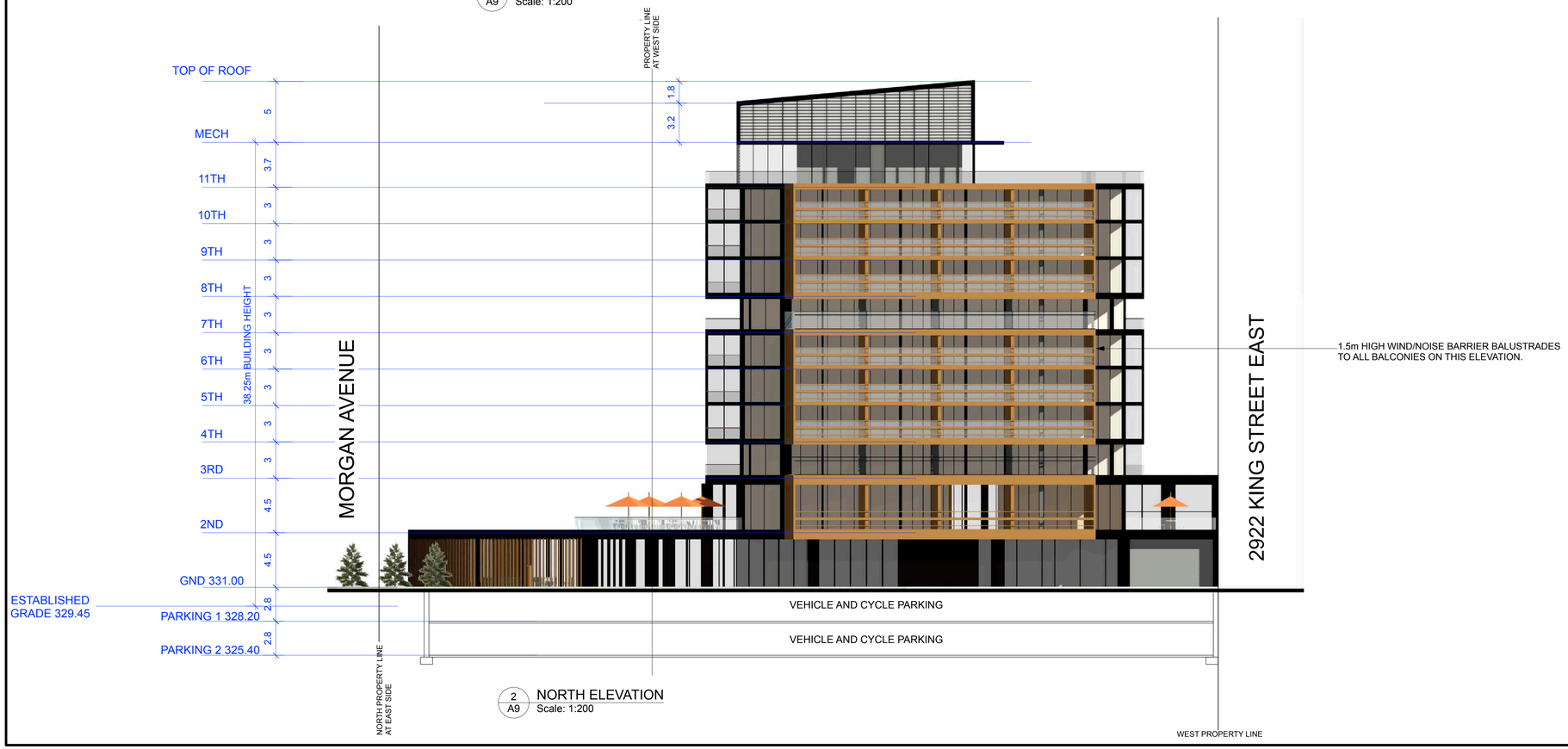
Drawing Title

A9

Sheet no.



1 / A9 SOUTH ELEVATION - KING STREET EAST
Scale: 1:200



2 / A9 NORTH ELEVATION
Scale: 1:200

TYPICAL FINISHES SCHEDULE

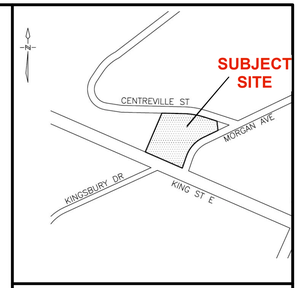
PRECAST CONCRETE FASCIAS, COLUMNS AND BANDS - SMOOTH BLACK FINISH

BLACK BRICKWORK

STRUCTURAL FROSTED GLASS BALUSTRADES WITH BLACK ALUMINUM RAILINGS - STAINED EBONY WOOD TO NORTH ELEVATION

PREFINISHED BLACK ALUMINUM WINDOW WALLS DOUBLE GLAZED WITH LOW-E COATING AND ARGON FILLED.

CORRUGATED ALUMINUM INSULATED METAL SPANDREL PANELS



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MIXED-USE DEVELOPMENT

2934 KING STREET EAST,
KITCHENER ON

OWNER: 2591221 ONTARIO INC.

Project

NORTH ELEVATION
SOUTH ELEVATION

Drawing Title

A10

Sheet no.

1 A10 EAST ELEVATION
Scale: 1:200

2 A10 WEST ELEVATION
Scale: 1:200

TYPICAL FINISHES SCHEDULE

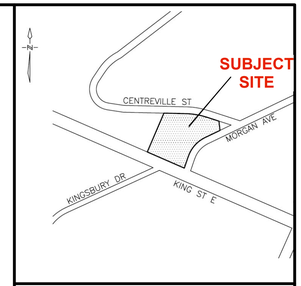
PRECAST CONCRETE FASCIAS, COLUMNS AND BANDS - SMOOTH BLACK FINISH

BLACK BRICKWORK

STRUCTURAL FROSTED GLASS BALUSTRADES WITH BLACK ALUMINUM RAILINGS - STAINED EBONY WOOD TO NORTH ELEVATION

PREFINISHED BLACK ALUMINUM WINDOW WALLS DOUBLE GLAZED WITH LOW-E COATING AND ARGON FILLED.

CORRUGATED ALUMINUM INSULATED METAL SPANDREL PANELS



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MIXED-USE DEVELOPMENT

2934 KING STREET EAST,
KITCHENER ON

OWNER: 2591221 ONTARIO INC.

Project

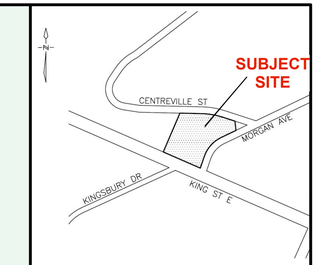
EAST ELEVATION
WEST ELEVATION

Drawing Title

A11

Sheet no.

VIEW FROM THE INTERSECTION OF KING STREET EAST AND MORGAN AVENUE



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MIXED-USE DEVELOPMENT

2934 KING STREET EAST,
KITCHENER ON

OWNER: 2591221 ONTARIO INC.

Project

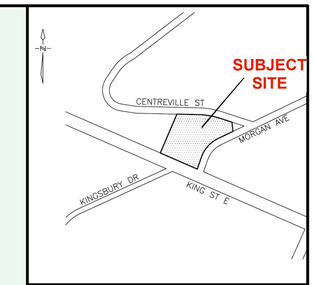
3D VIEW 1

Drawing Title

A12

Sheet no.

VIEW FROM CENTREVILLE STREET LOOKING EAST



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J.M. — Checked by

MIXED-USE DEVELOPMENT

2934 KING STREET EAST,
KITCHENER ON

OWNER: 2591221 ONTARIO INC.

Project

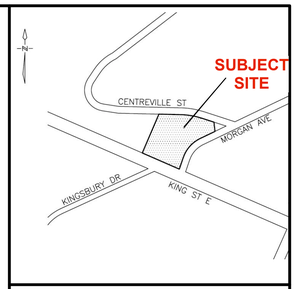
3D VIEW 2

Drawing Title

A13

Sheet no.

VIEW FROM THE
NORTH EAST
INTERSECTION OF
MORGAN AVENUE
AND
CENTREVILLE ST.



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MIXED-USE DEVELOPMENT

2934 KING STREET EAST,
KITCHENER ON

OWNER: 2591221 ONTARIO INC.

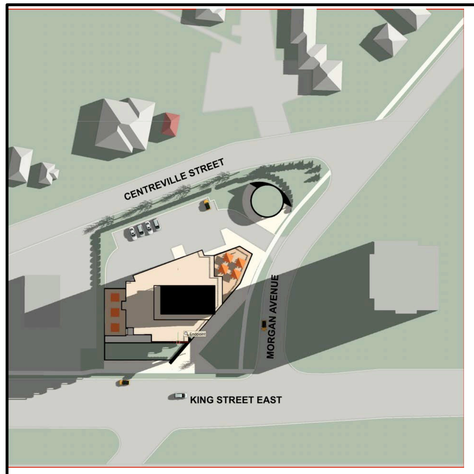
Project

3D VIEW 3

Drawing Title

A14

Sheet no.



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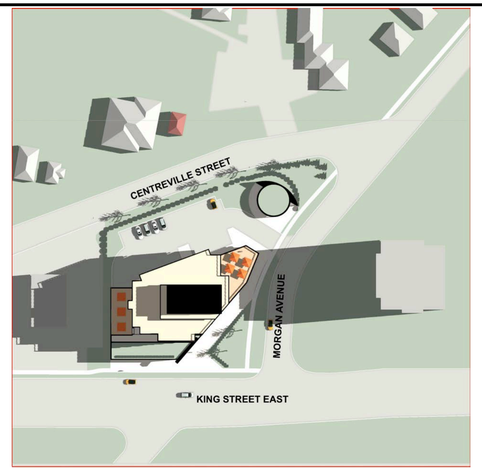

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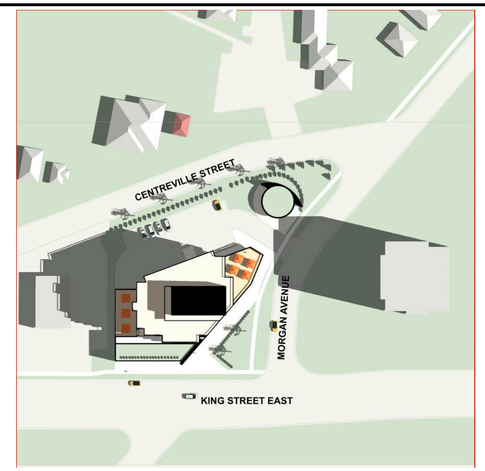

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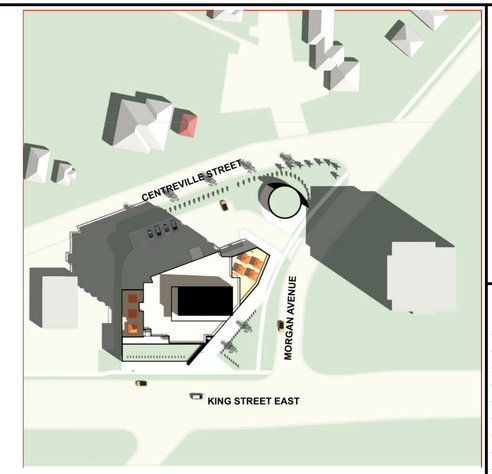

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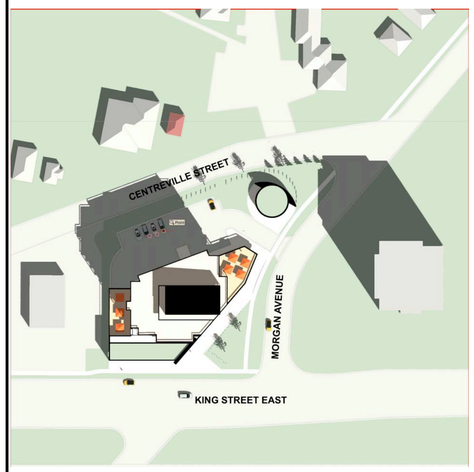

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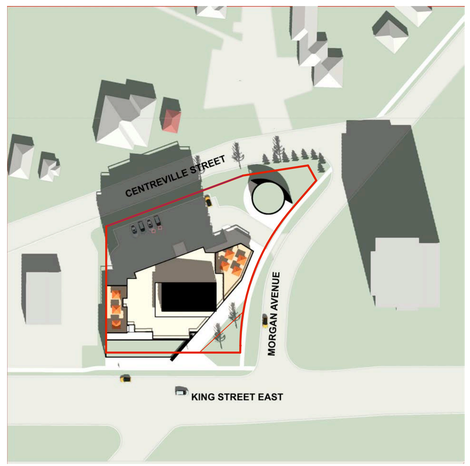

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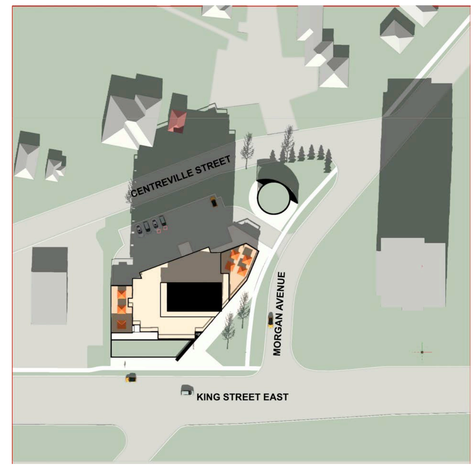

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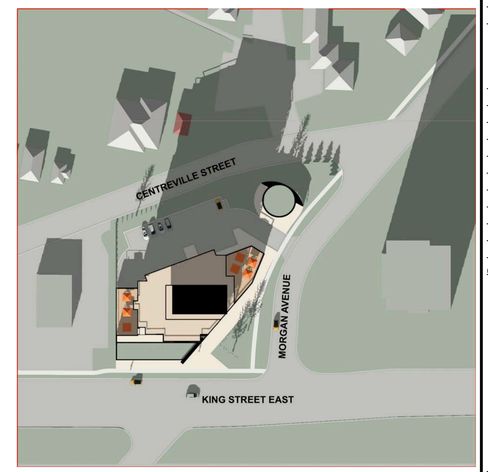

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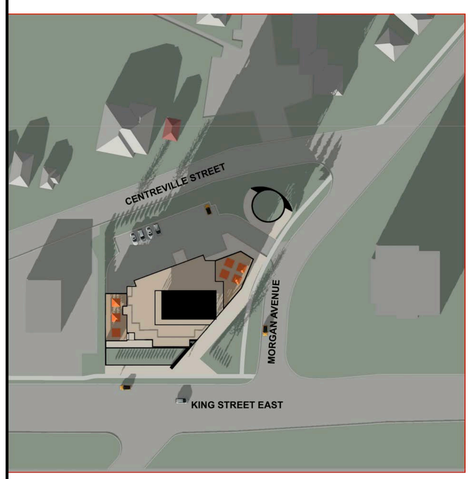

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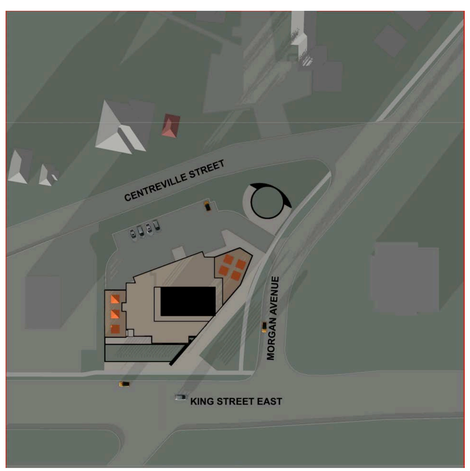

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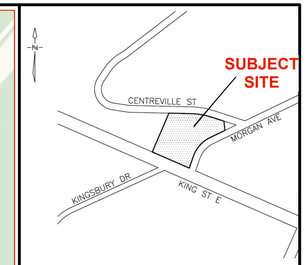

Key Plan

Issue	Date	Description	By
01	07 APR 2022	SECOND CONSULTATION	K.L.
02	24 JUL 2022	SECOND CONSULTATION REV	K.L.
03	15 APR 2023	ZBA	K.L.

Rev	Date	Description	By

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ONTARIO ASSOCIATION OF ARCHITECTS
JOHN WILLIAM MCALPINE
LICENCE
4397

Professional Certification

ZONING BYLAW AMENDMENT
Issued for

15 APRIL 2023	1 : 200	
Issue date	Scale	
0699	K.L.	J.M.
Project no.	Drawn by	Checked by

MIXED-USE DEVELOPMENT

2934 KING STREET EAST,
KITCHENER ON

OWNER: 2591221 ONTARIO INC.

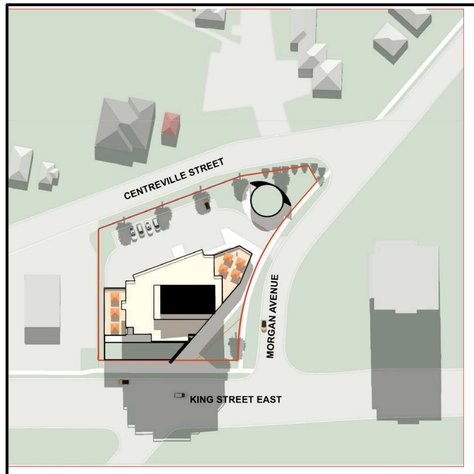
Project

SHADOWS
21 SEPTEMBER EQUINOX

Drawing Title

A15

Sheet no.



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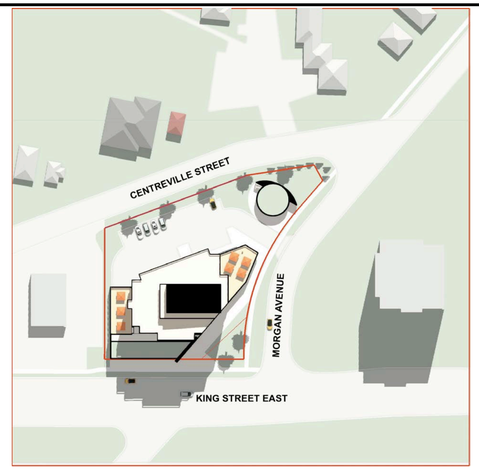

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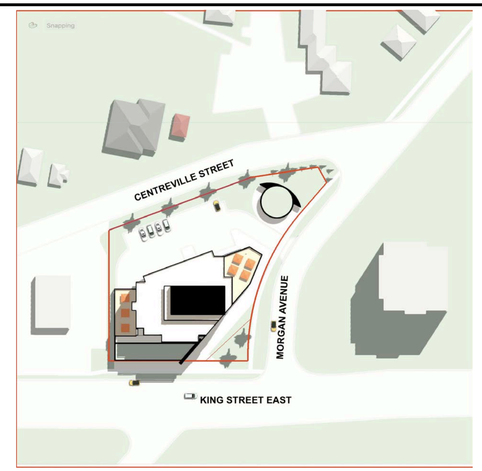

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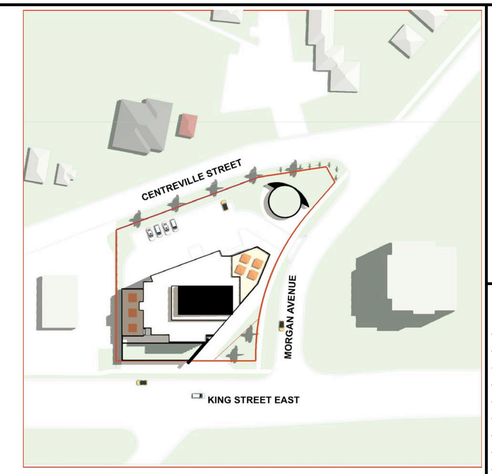

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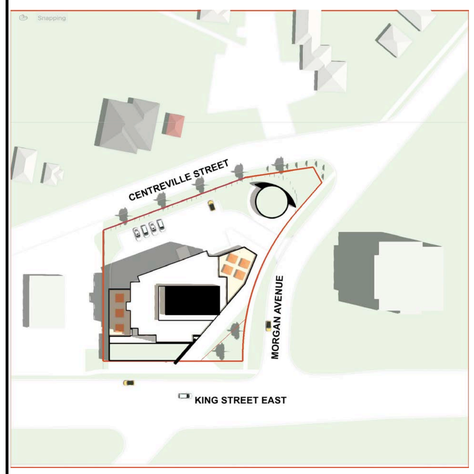

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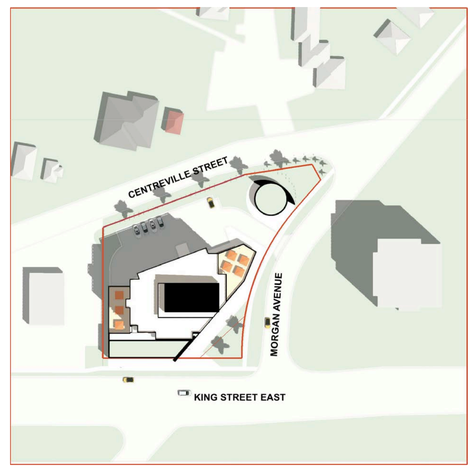

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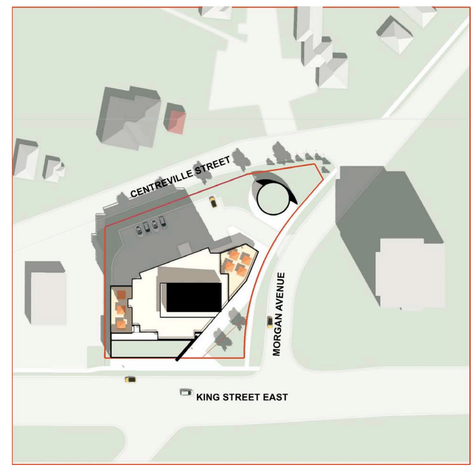

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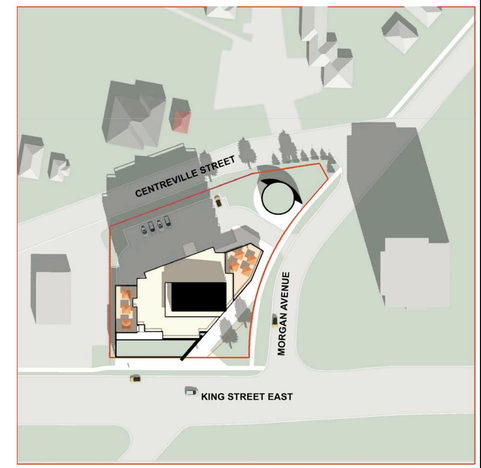

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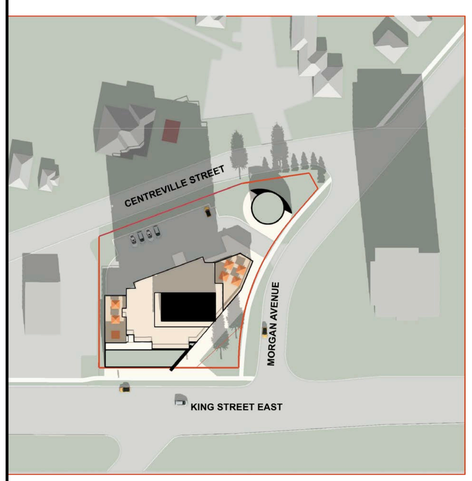

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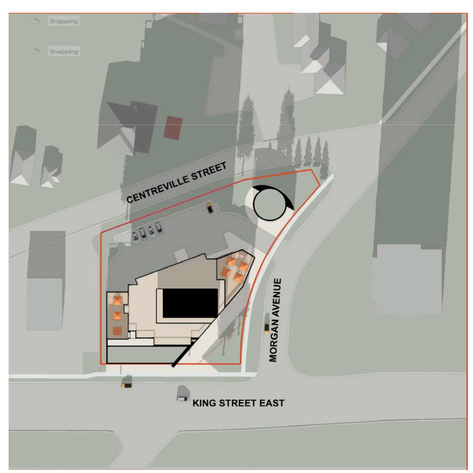
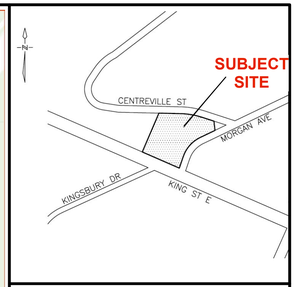


6:00 PM 21 JUNE

NOTE:
DURING SUMMER THE BUILDING WILL PROVIDE SHADE TO KING STREET UNTIL APPROX 11am. IN THE AFTERNOON THE BUILDING WILL PROVIDE SHADE TO CENTREVILLE STREET AFTER 3pm.



Key Plan

Issue	Date	Description	By
01	07 APR 2022	SECOND CONSULTATION	K.L.
02	24 JUL 2022	SECOND CONSULTATION REV	K.L.
03	15 APR 2023	ZBA	K.L.

Rev	Date	Description	By

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Professional Certification

ZONING BYLAW AMENDMENT
Issued for

15 APRIL 2023	1 : 200	
Issue date	Scale	
0699	K.L.	J.M.
Project no.	Drawn by	Checked by

MIXED-USE DEVELOPMENT

2934 KING STREET EAST,
KITCHENER ON

OWNER: 2591221 ONTARIO INC.

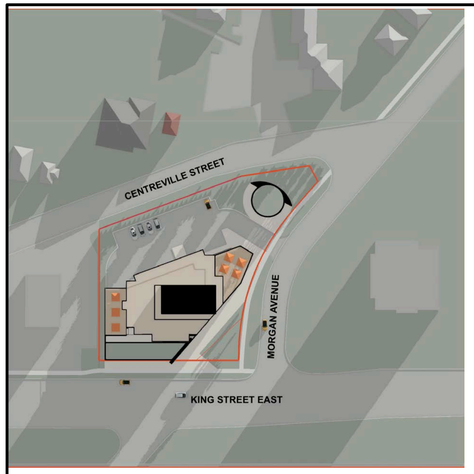
Project

SHADOWS
21 JUNE MIDSUMMER

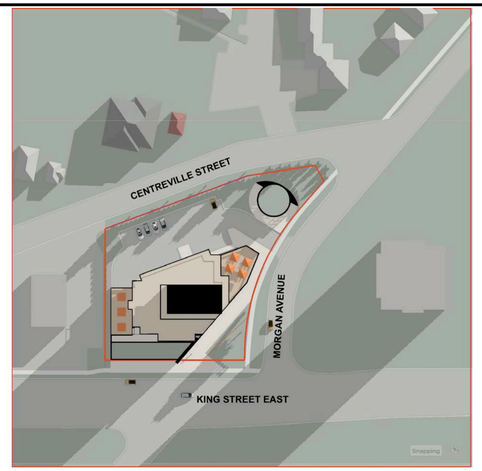
Drawing Title

A16

Sheet no.



9:00 AM 21 DECEMBER



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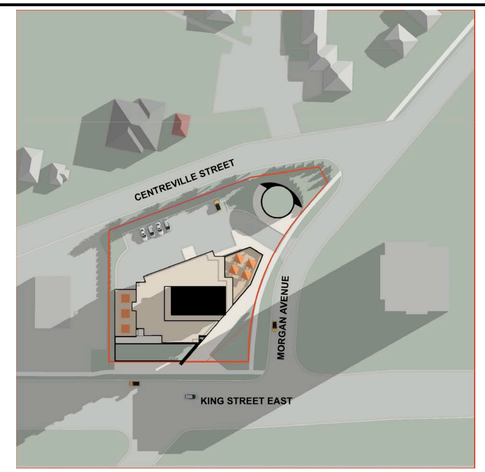

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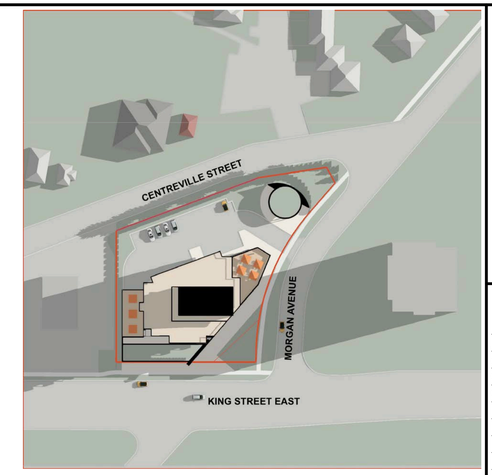

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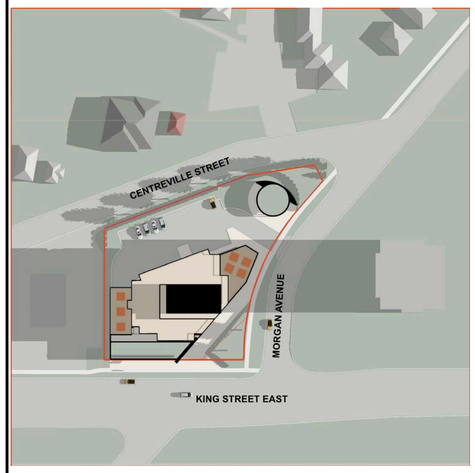

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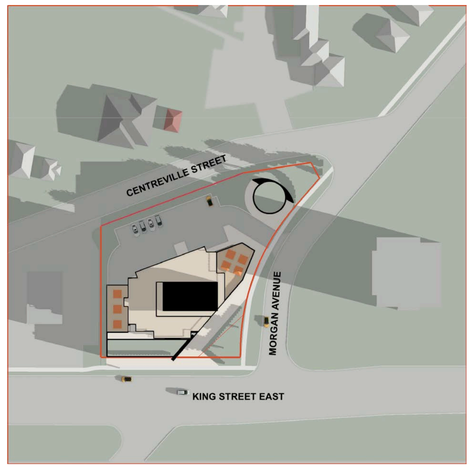

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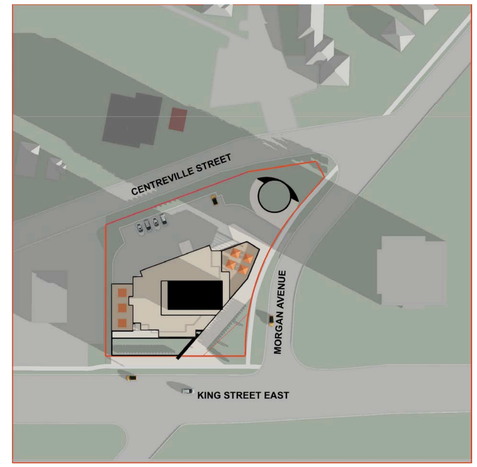

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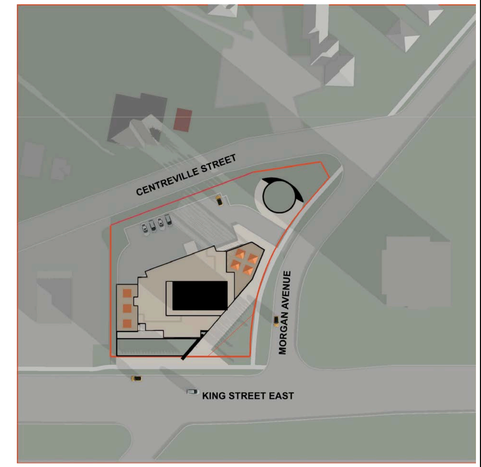

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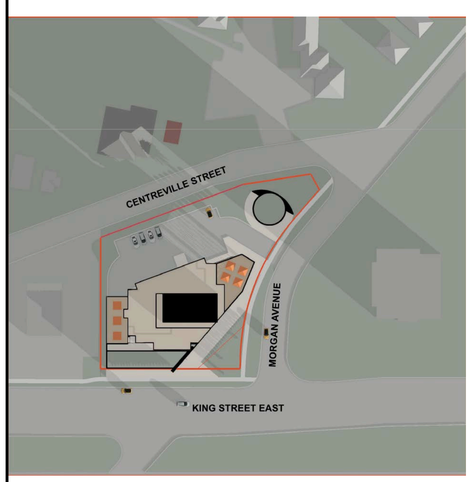

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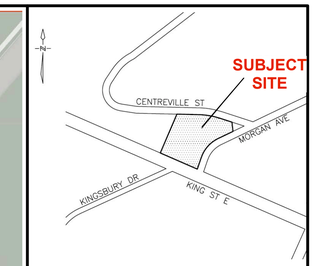

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Project

SHADOWS
21 DECEMBER MID WINTER

Drawing Title

A17

Sheet no.